



Town & Country

High Street, Markyate

Guide Price £425,000



## High Street

### Markyate

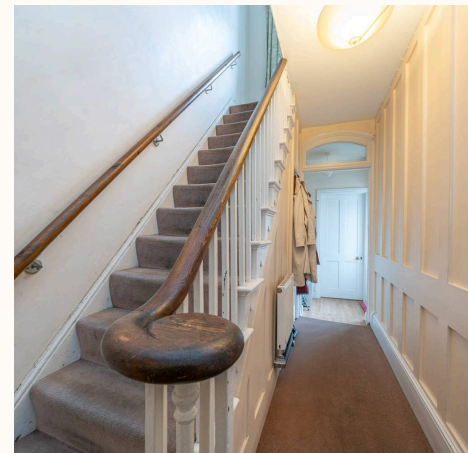
- Character Three Bedroom Home
- Entrance Hall
- Lounge with Feature Fireplace
- Fitted Kitchen
- Ground Floor Shower Room
- Four Piece Bathroom
- Three Double Bedrooms
- Cellar
- Off Road Parking and Patio Garden
- Easy Access to Village Centre and Good Local Amenities

Markyate is a village in Hertfordshire, situated near the M1 motorway. It is close to Junction 9, providing easy access to Luton and other nearby areas. The village offers a quiet, rural atmosphere with good road and bus connections to surrounding towns. Council Tax band: C

Tenure: Freehold

EPC Energy Efficiency Rating: D

EPC Environmental Impact Rating: G



# High Street

## Markyate

This is an absolutely fantastic opportunity to own this spacious Three Bedroom Character Home situated within the Hertfordshire village of Markyate, along the main High Street, within easy access to all that this village has to offer and just a few minutes drive from Junction 9 of the M1.

The Home is a great size and must be viewed to be fully appreciated, It has a good sized Entrance Hallway, Lounge with Feature Fireplace, Fitted Kitchen and a Shower Room on the Ground Floor. The hallway has stairs to the first floor and also stairs down into a Storage Cellar, that is a fantastic bonus for the home as could be adapted for the family in the future.

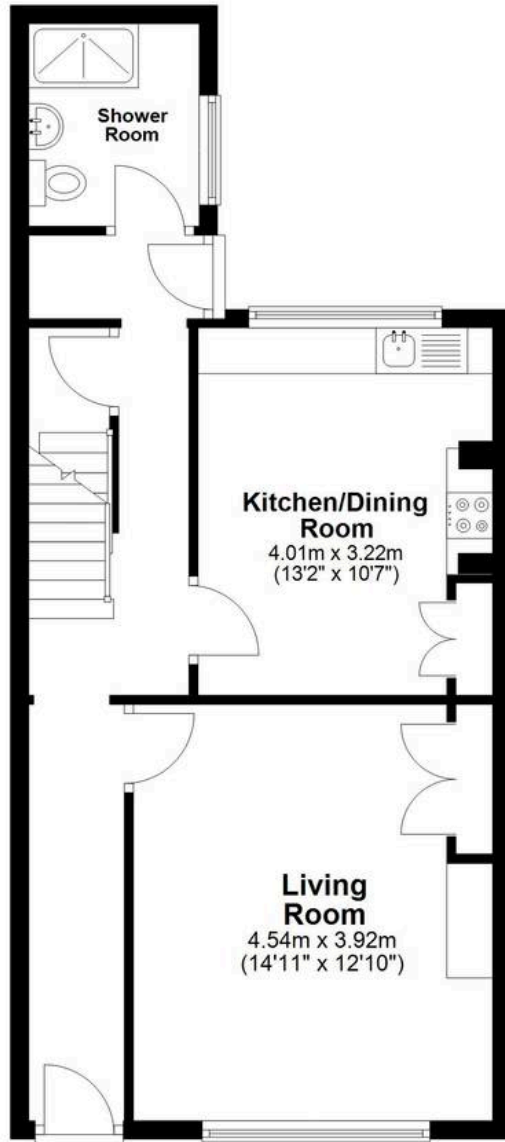
The upper floor holds Three Excellent Sized Double Bedrooms and A Large Family Bathroom. Externally there is Off Road Undercover parking and a courtyard rear garden.

A great character home in this popular Hertfordshire village. Call to view today!!



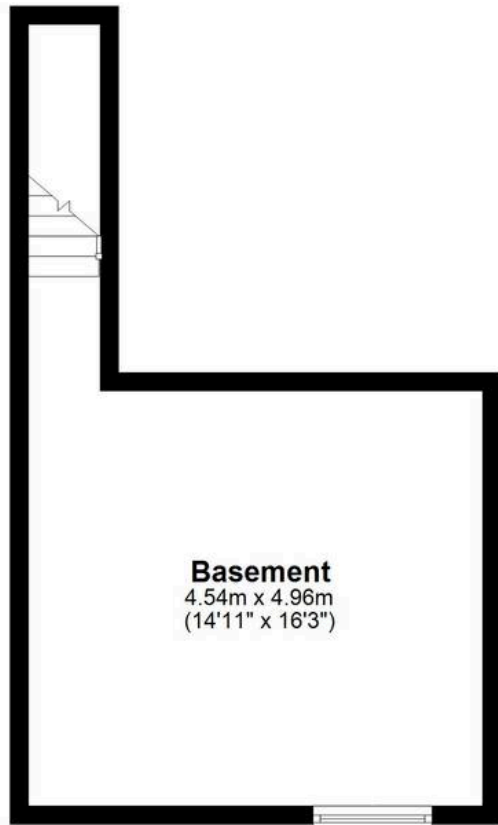
### Ground Floor

Approx. 50.0 sq. metres (538.2 sq. feet)



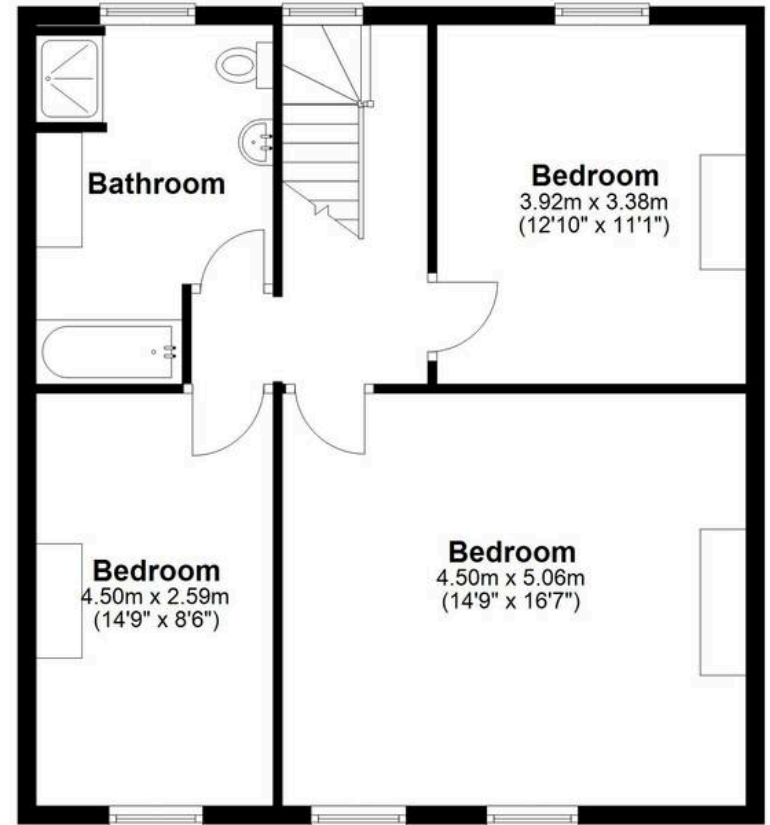
### Basement

Approx. 25.6 sq. metres (275.6 sq. feet)



### First Floor

Approx. 66.1 sq. metres (711.3 sq. feet)



Total area: approx. 141.7 sq. metres (1525.2 sq. feet)

The Floor Plan is not to Scale and measurements and areas shown are approximate and therefore should be used for illustrative purposes only. The plan has been prepared with due diligence and whilst we have confidence in the information produced it should not be relied upon. Maximum lengths and widths are represented on the plan. If there are any aspects of particular importance, you should carry out or commission your own inspection of the property. Copyright © SKMSTUDIO  
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